1261/1263 Owen PI NE, Washington, DC 20002



1 SITE LOCATION PLAN SCALE: NONE

ROPERTY LOCATION

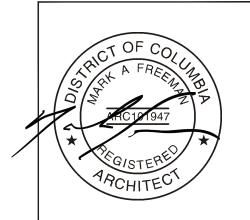


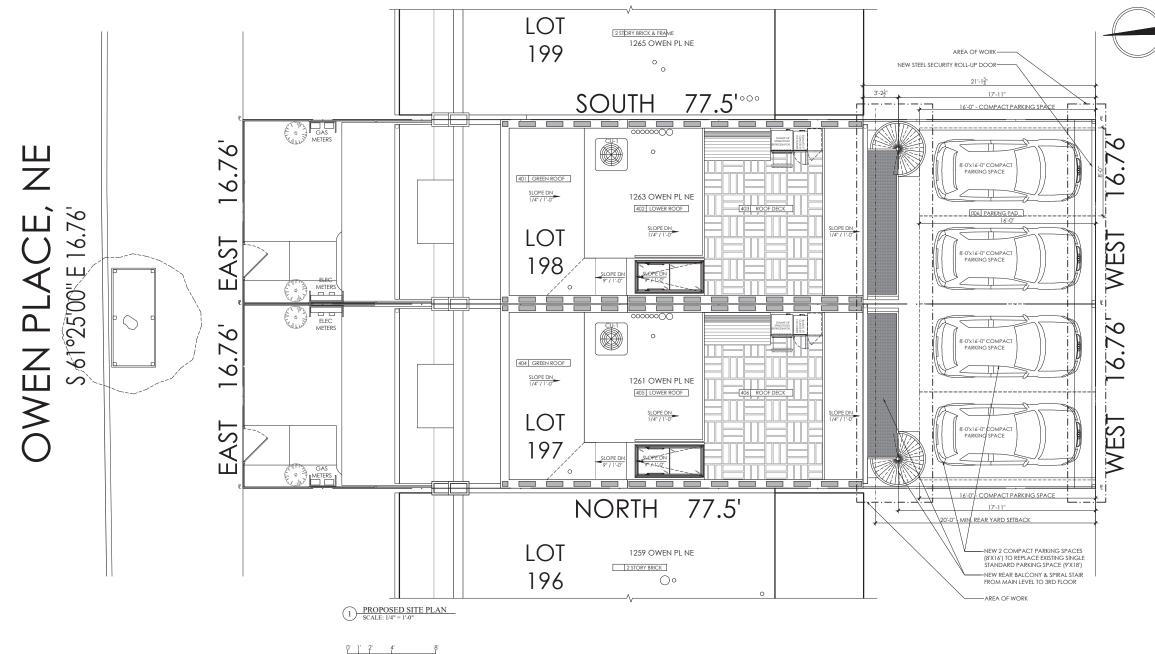
(2) FRONT ELEVATION OF 1261 OWEN PLACE NE

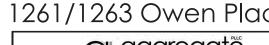


3 FRONT ELEVATION OF 1263 OWEN PLACE NE

	JECT DESCRIPTION	GENERALI		ZONING	
RENOVA 1261 OW 1263 OW	ATION & ADDITION: VEN PL NE, WDC 20002 - PERMIT #B1802941 VEN PL NE, WDC 20002 - PERMIT #B1802940 RUCTION FOR BOTH PROJECTS WILL BE DONE SIMULTANEOUSLY.	OWNER: OWEN PLACE DEVEL 740 5TH ST NE WASHINGTON, DC 20 ARCHITECT:	OPMENT, LLC	SQUARE: LOTS: EXIST. USE: PROPOSED USE: EXIST. LOT AREA: EXIST. LOT OCC:	4060 0197 & 0198 RF-1 1298.125 59.7%
THIRD FL SPIRAL S	TIONS TO REAR FACADE IN ORDER TO ADD A SHADING DEVICE ABOVE THE .OOR SLIDING DOOR, BALCONIES AT THE 2ND AND 3RD FLOOR W/ A STAIR EXTENDING DOWN TO THE REAR YARD. ADD FOUR NEW COMPACT RKING SPACES AND A NEW STEEL ROLL-UP DOOR IN THE REAR YARD.	AGGREGATE, LLC 1308 9TH ST NW SUITE 200 WASHINGTON, DC 20 PH: 202. 289. 0053	0001	PROPOSED LOT C MAX. LOT OCC:	
ATTAIN & UP DOO STAIR TH 306.1) &	REQUESTED TO EXCEED THE 60% LOT COVERAGE (SUBTITLE E - 304.1) TO 64.2% WITH THE NEW BALCONIES & SPIRAL STAIR, TO INSTALL A STEEL ROLL 3R AT THE REAR PROPERTY LINE & ADD TWO BALCONIES AND A SPIRAL 1AT WOULD ENCROACH INTO THE REQUIRED 20' REAR YARD (SUBTITLE E - 1. TO SHOW TWO COMPACT CAR PARKING SPACES (SUBTITLE C - 712.3) ON ROPERTY.	MEP ENGINEER: AJS CONSULTING EN 3131 MOUNT VERNO ALEXANDRIA, VA 223 P: 703. 461. 6080	N AVE	WITH THE DESIGN NOT SCALE DRAW DIMENSIONS OR N QUESTION, REVIEW	(INGS. IF ANY
	AL NOTE: THESE DRAWINGS HAVE BEEN REDUCED FROM 24 X 36 TO 11 X 17. REFER TO THE GRAPHIC SCALE ADJACENT TO DRAWINGS.	STRUCTURAL ENGINE OHI ENGINEERING G 1025 THOMAS JEFFER SUITE 420 EAST WASHINGTON, DC 20 PH: 202, 499, 5588	roup, pllc son st nw	SURVEYING & CIV SNIDER & ASSOC. 20210 Goldenrod Suite 110 Germantown, ME PH: 301.948.5100	Lane
DRA	AWING INDEX	CODE REV	IEW INFO).	
C-0002 F D-0001 F A-0001 A A-0002 A A-0003 A A-0004 A	COVERSHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX PROPOSED SITE PLAN DEMOLITION PLANS & NOTES ARCHITECTURAL CELLAR & 1ST FLOOR PLANS, NOTES ARCHITECTURAL 2ND & 3RD FLOOR PLANS, NOTES ARCHITECTURAL ROOF PLAN, NOTES ARCHITECTURAL ROOF PLAN, NOTES ARCHITECTURAL REAR/SOUTH ELEVATIONS ARCHITECTURAL SIDE/WEST ELEVATION	ALL WORK UNDER TH THE SPECIFICATIONS ORDINANCES AND F ALL PERMITS, LICENS EXECUTION OF WOR CONTRACTOR. APPL FOLLOWING: 2012 INTERNATIONAI ZONING REQUIREME 2012 INTERNATIONAI 2012 INTERNATIONAI 2012 INTERNATIONAI	& DRAWINGS, & SI REGULATIONS OF A ES & INSURANCE N K SHALL BE SECURE JCABLE CODES INC L BUILDING CODE (NTS L ENERGY CONSER	HALL SATISFY ALL A LLL GOVERNING BC ECESSARY FOR THE ED & PAID FOR BY T CLUDE, BUT ARE NO (IBC) W/ RELATED V VATION CODE (IEC	PPLICABLE CODES, DDIES INVOLVED. PROPER HE GENERAL DT LIMITED TO THE VDC ADDENDUM &
A-0007	ARCHITECTURAL SIDE/EAST ELEVATION ARCHITECTURAL SECTION ARCHITECTURAL SECTION ARCHITECTURAL SECTION	2012 INTERNATIONAL 2012 INTERNATIONAL 2012 NATIONAL ELEC	L PLUMBING CODE CTRIC CODE (NEC)	(IPC)	
A-0009	ARCHITECTURAL RENDERINGS	IRC OCCUPANCY CLA	ASSIFICATION DN -	R V-A 3	PROP. ALTER. R V-A 3
\vdash		FULLY SPRINKLERED		Y (TYPE 13-D)	Y (TYPE 13-D)
		FLOOR AREA OF RENO	OVATION	-	-
		FLOOR AREA OF HOU	SE	2515.6	2515.6
		FLOOR AREA OF ROO	F DECK	N/A	168.12
\vdash		FLOOR AREA OF REAR	BALCONIES	45	131.94
architecture+design			SUBMISSION BZA I CERTIFY THAT THE WERE PREPARED C ME AND THAT I AM ARCHITECT UNDER D IST R I C T OF	DR APPROVED BY A DULY LICENSED THE LAWS OF THE C O L U M B I A .	COVER
Architec specifica Work (th	Aggregate Architecture & Design, PLLC © 2019 wing &/or Specifications is provided as an instrument of service by AGGREGATE ture & Design, PLLC, and is intended for use on this project anly. All designs, drawings, filons, models, and arrangments appearing herein constitutes the original and unpublished e property) of the Architect. Any reproduction, use, or disclosure of the proprietary on contained herein without the prior written consent of the Architect is strictly prohibited.		LICENSENO. EXPIRATION DA DRAWN BY: CHECKED BY: PROJECT NO: 20	ARC_101947 TE 04-30-2020 VC / MF MF	- 0001





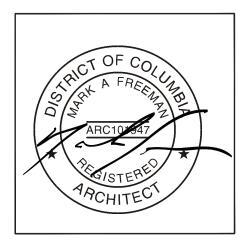


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15'-0" PUBLIC ALLEY

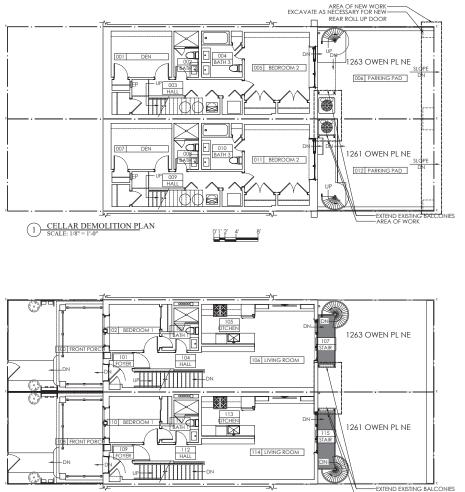


1261/1263 Owen Place, NE Washington, DC 20002

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BZA	05.06.19
I CERTIFY THAT THESE DOCU PREPARED OR APPROVED THAT I AM A DULY LICENSE UNDER THE LAWS OF THE I C O L U M B LICENSE NO. <u>A C</u> EXPIRATION DATE OF DRAWN BY: VI	BY ME AND ARCHITECT DISTRICT OF I A 101947
CHECKED BY:	MF
PROJECT NO: 2015-10	0 & 2017-10

PROPOSED SITE PLAN

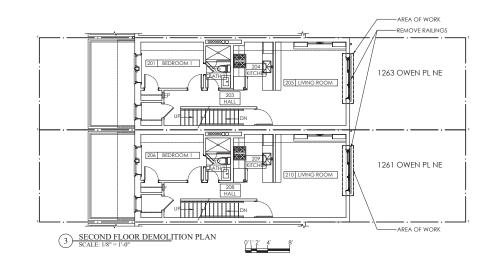
C-0002

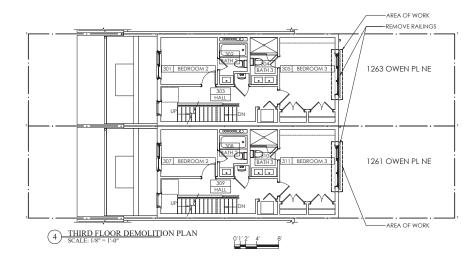


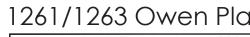
0'1'2'4'

-AREA OF WORK

2 MAIN FLOOR DEMOLITION PLAN SCALE: 1/8" = 1'-0"



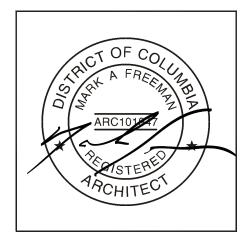




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1261 & 1263 OWEN PL NE - COMBINED DRAWINGS NOTE

THE DRAWINGS & NOTES ON THIS PAGE ARE TYPICAL FOR BOTH 1261 & 1263 OWEN PLACE NE PROPERTIES, VERIFY IN FIELD ALL DIMENSIONS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITEC PRIOR TO PROCEEDING WITH WORK.

DEMO NOTE

- SHORING & DEMOLITION 1. The General Contractor shall be experienced in sharing and demolition work and should carefully evaluate the situation that exists prior to starting work. 2. The General Contractor shall notify the Architect or Engineer

The General Contractor shall notify the Architect or Engineer immediately if any circumstance exist which affect the stability of the existing structure or the shoring.
 The General Contractor is caulianced that needling, shoring, and demolition work are potentially hazardous and are adificult types of work requiring care and caution during performance.
 The General Contractor is responsible for monitoring the performance of the temporary shoring and have additional shoring readily available on site in the event of deflection or movement of the shorino.

the shoring.
the shoring.
The General Contractor is responsible for the design, installation maintenance, and performance of all temporary bracing and

shoring.
6. Adequate bracing and connections between the components of the shoring system shall be provided by and the responsibility of the General Contractor.

D-0001

WALL KEY

EXISTING WALL TO REMAIN

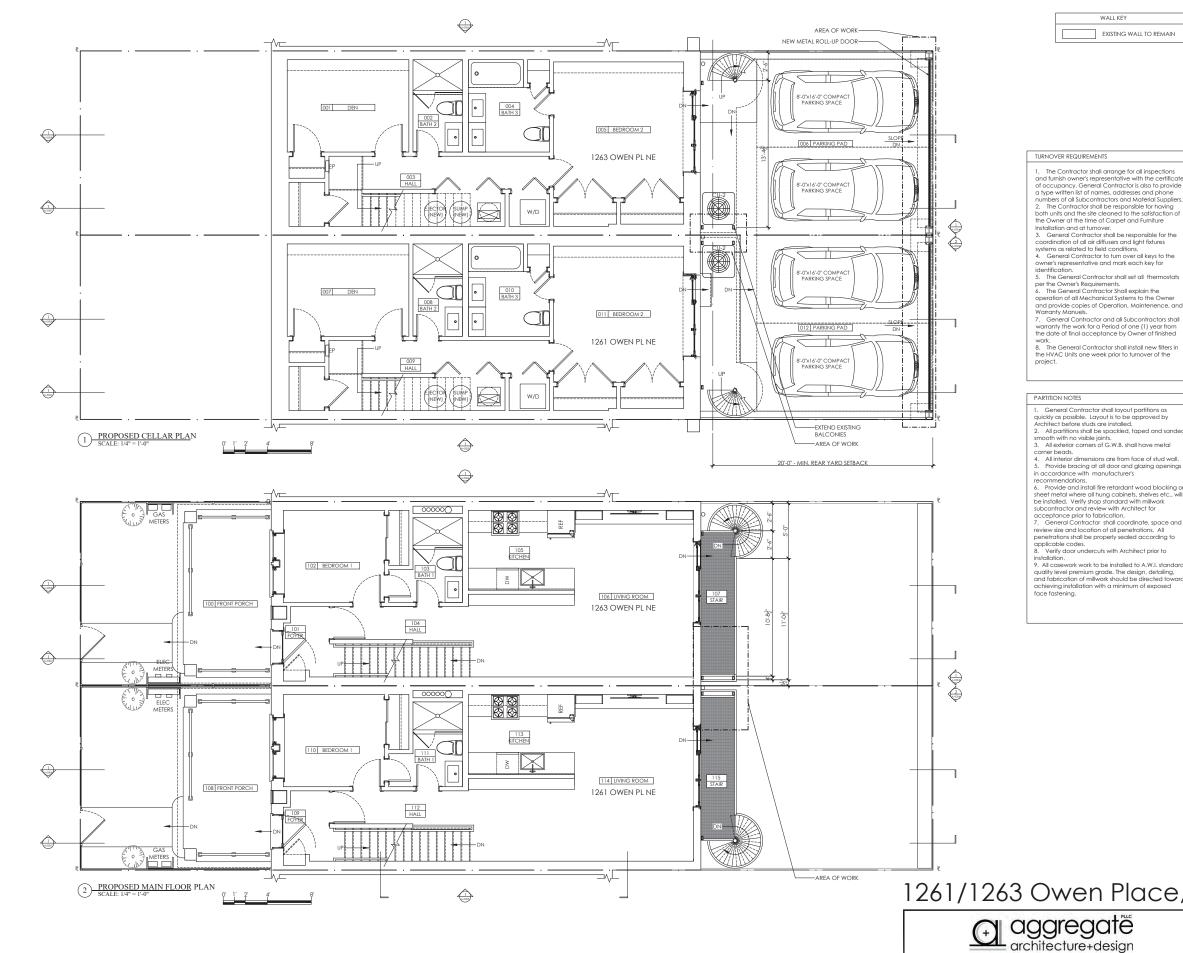
LWF/VC/M

TO BE REMOVED

1261/1263 Owen Place, NE Washington, DC 20002 BMISSION 05.06. DEMOLITION CERTIFY THAT THESE DOCUMEN VERE PREPARED OR APPROVED WE AND THAT I AM A DULY LICENS ARCHITECT UNDER THE LAWS OF T Plans ICENSE NO. <u>ARC 10194</u> XPIRATION DATE <u>04-30-202</u>

DRAWN BY:

HECKED BY: ROJECT NO: 2015-10 & 2017



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WALL KEY

 The Contractor shall arrange for all inspections and furnish owner's representative with the certifica of occupancy. General Contractor is also to provi type written list of names, addresses and phone bers of all Subcontractors and Material Sur The Contractor shall be responsible for having the units and the site cleaned to the satisfaction of

The General Contractor shall set all thermostats er the Owner's Requirements.

peration of all Mechanical Systems to the Owner and provide copies of Operation, Maintenence, c Varranty Manuels.

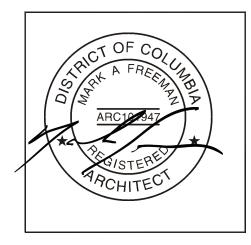
7. General Contractor and all Subcontractors shall warranty the work for a Period of one (1) year from the date of final acceptance by Owner of finished

All partitions shall be spackled, taped and sande

All interior dimensions are from face of stud wall.
 Provide bracing at all door and glazing opening:

 Provide and install fire retardant wood blocking of sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for

quality level premium grade. The design, detailing, and fabrication of millwork should be directed tow achieving installation with a minimum of exposed



GENERAL NOTES

CENERAL NOTES

1. If shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, if shall be the joint responsibility of the General Contractor and all Subcontractors and supplies of materials to secure all necessary adoptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work. 2. All work shall be performed as to comply with all governing statutes, ordinances are equalations, codes and insurance rafing boards. No work shall commence until all governmend as to comply with all governing statutes, ordinances, regulations, codes and insurance rafing boards. No work shall commence until all governmed as to camply with all porting statutes, ordinances, regulations, codes and insurance rafing boards. No work shall commence until all governmed to a first class manner and shall be in good and usable condition at the case of completion thereof. 3. Contractors are required to give the owner a minimum of twenty four (24) hours advanced written nolice of sid work.

nimum of twenty four (24) hours advanced written

minimum of twenty tour (24) hous advanced written notice of said work.
6. Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
7. All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Nomer's anonycout otherwise

any materials or machinery) outside of the premises, subject to Owner's approval otherwise. 8. No construction material or debris shall be placed in any of the Owner's trast receptacles or compactors at any time. The Contractor shall arrange (If Required) for a trast dumpster, size and location of which is subject to owner's approval, for the removal of refuse.

The abbreviation of "N.I.C." indi cates work and or

The abbreviation of "NLC." indicates work and or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
 Repoin and damage or volds caused during construction to any of the property to the original construction to any of the property to the original construction to any of the property to the original construction to env of the property to the original construction to env of the property to the original construction to env of the property to the original construction to env of the property to the original shall be flame Retarcant Treated.
 The locations of existing utilities are shown in an approximate way only and have not been individually way only and have not been individually envision of presentative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the contractor's failure to exactly locate and preserve any and all dilles.
 The term "Owner" shall refer to OWEN PLACE DEVELOPMENT. LLC and its agents are representatives.
 The term "Owner" shall refer to OWEN PLACE DEVELOPMENT. LLC and its agents are representatives.
 The term "Owner" shall provide the scheduled pre finished millworks as described and detailed and responsible to reactive, check and confirm the millworks and schedule and on sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum mumber of joints possible.
 Core and lowing, Refinish at all cuts and damaged areas arequired.
 Center Contractor shall cortes shall cuts and damaged cores shall check in with the

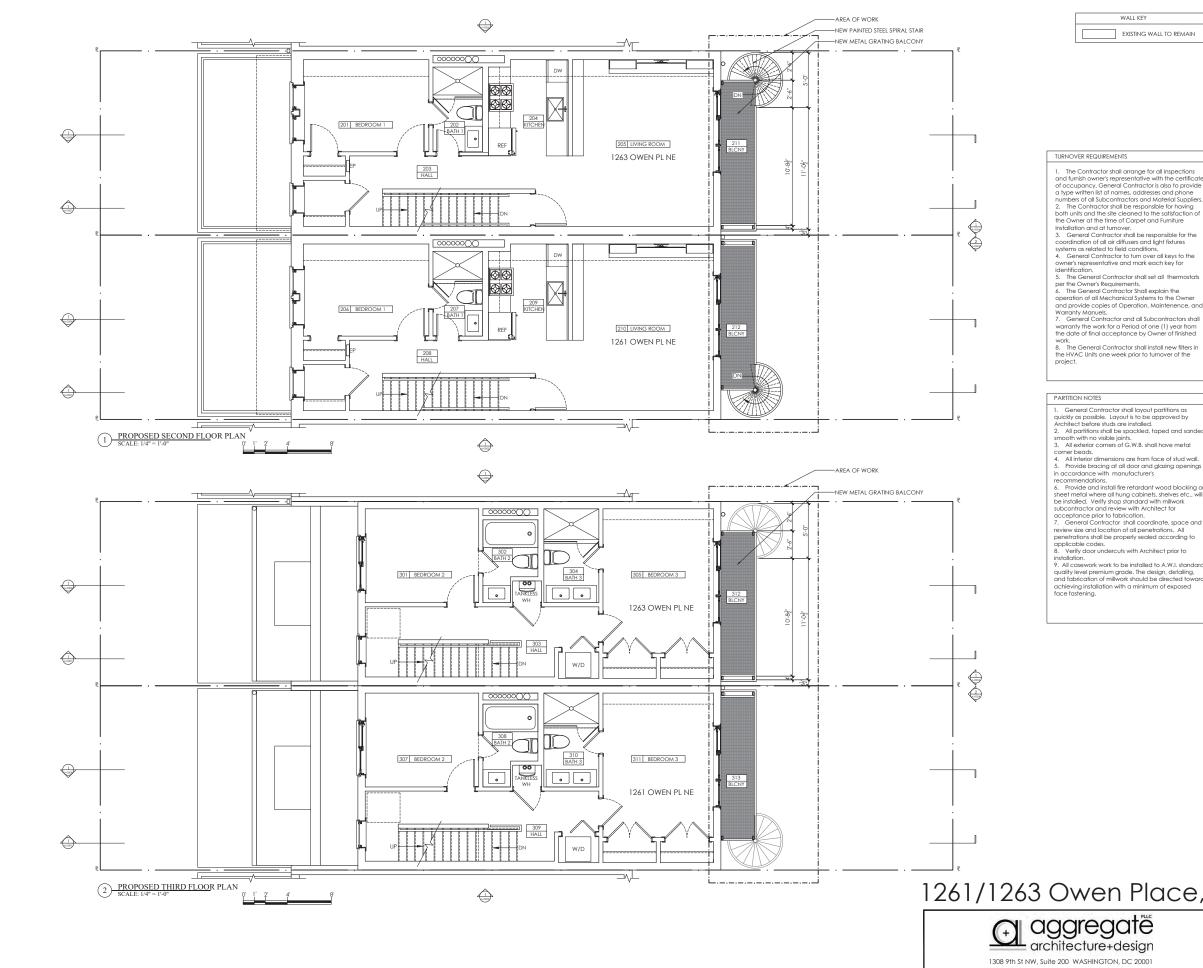
General to end joining, keining to all cuts and damaged areas as required.
 General Contractor shall check-in with the Owner prior to commencing construction.
 In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
 General Contractor to provide 5% additional stock of linish materials or as agreed to by the construction manager

construction manager. 19. General Contractor to adhere to owner provided close out forms if any.

1261/1263 Owen Place, NE Washington, DC 20002

SUBMISSION DATE	
BZA 05.06.19	
	A
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE DISTRICT OF COLUMBIA.	
LICENSE NO. ARC 101947 EXPIRATION DATE 04-30-2020	
DRAWN BY: LWF/VC/MF	
CHECKED BY: MF	
PROJECT NO: 2015-10 & 2017-10	

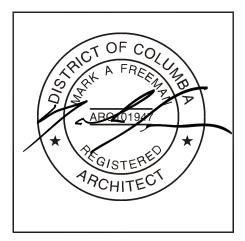
ARCHITECTURAL PLANS A-0001



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GENERAL NOTES

GENERAL NOTES

1. If shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and variable utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all subcontractors and suppliers of materials to secure all necessary adoptations to same as required for their respective work prior to ordering. fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be moder of shall be valid unless written onitications in proceeding with the work. 2. Commencement of work in any area by the Contractor whall be contractors has checked the existing conditions & lound them satisfactory to accept this portion of work. 3. All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmend and jurisdictional permiss dia opprovali are obtained. 4. All work shall be performed in an first class manner and shall be in good and usable conditional the date of completion threeot. 5. Contractors are required to give the owner a minism of twenty four (24) hours advanced written notice of said work.

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6. Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
7. All work shall be confined to the premises and Contractors, Subcontractors or Materialmen are not permitted to perform any said Owner's work (Or store any materials or materials or materials or materials or the premises, subject to Owner's anonycal atheroxies.

any materials or macrinery) outside of the premises, subject to Owner's approval otherwise. 8. No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (If Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.

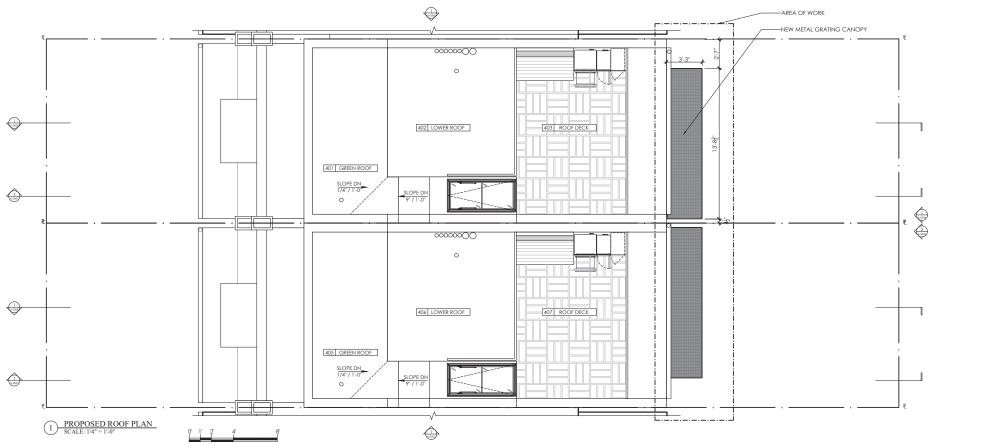
The abbreviation of "N.I.C." ind cates work and or

The abbreviation of "NLC." indicates work and or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
 Repair all damage or voids caused during construction to any of the property to the deginal condition. Protect adjacent areas from dirt and dust.
 All conceled wood blacking in walls and ceiling shall be flame Retardant Treated.
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 All colations of existing utilities are shown in an approximate way only and have not been individually wrifted by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the contractor's faller to exactly locate and preserve any and all diffusi.
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 The term "Contractor's ablarder to a subcontracted or subcontracted for the work.
 The contractor shall provide the scheduled pre finished milliworks as described and detailed and responsible to receive, check and confitm the milliworks and work and the contractor in a first class manner, with minimum mumber of joints possible. Cope all returns, milter all comers and use scarf joints for end to end jointing, Retnish at all cuts and damaged areas are quired.
 General Contractor to a subcentract for construction shall papyly.
 General Contractor to provides sited herein, ALA document A201 General Notes listed herein, ALA, document A201 Gener

1261/1263 Owen Place, NE Washington, DC 20002

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LICENSE NO. ARC 10 EXPIRATION DATE 04-30		
DRAWN BY: LWF/	VC/MF	
CHECKED BY:	MF	
PROJECT NO: 2015-10 & 2	2017-10	

ARCHITECTURAL Plans A-0002



TURNOVER REQUIREMENTS The Contractor shall arrange for all inspections and furnish owner's representative with the certifica of occupancy. General Contractor is also to provid a type written list of names, addresses and phone a type wither his to indines, dudlesses and priorie numbers of all subcontractors and Material Suppliers. 2. The Contractor shall be responsible for having both units and the site cleaned to the satisfaction of the Owner at the time of Carpet and Furniture the Owner at the time of Carpet and Furniture Installation and at furnover. 3. General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions. 4. General Contractor to turn over all keys to the owner's representative and mark each key for identification.

 The General Contractor shall set all thermostats per the Owner's Requirements.
 The General Contractor Shall explain the operation of all Mechanical Systems to the Owner operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenence, and Warranty Manuels. 7. General Contractor and all Subcontractors shall

warranty the work for a Period of one (1) year from the date of final acceptance by Owner of finished The General Contractor shall install new filters in

the HVAC Units one week prior to turnover of the project.

PARTITION NOTES

 General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed. All partitions shall be spackled, taped and sanded smooth with no visible joints. 3. All exterior corners of G.W.B. shall have metal

orner beads. All interior dimensions are from face of stud wall.
 Provide bracing at all door and glazing openings in accordance with manufacturer's ecommendations.

 Provide and install fire retardant wood blocking or sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for

acceptance prior to fabrication. 7. General Contractor shall coordinate, space and review size and location of all penetrations. All

penetrations shall be properly sealed according to applicable codes 8. Verify door undercuts with Architect prior to

stallation. All casework work to be installed to A.W.I. standard

quality level premium grade. The design, detailing, and fabrication of millwork should be directed towa achieving installation with a minimum of exposed face fastening.

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WALL KEY

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nimum of twenty four (24) hours advanced written

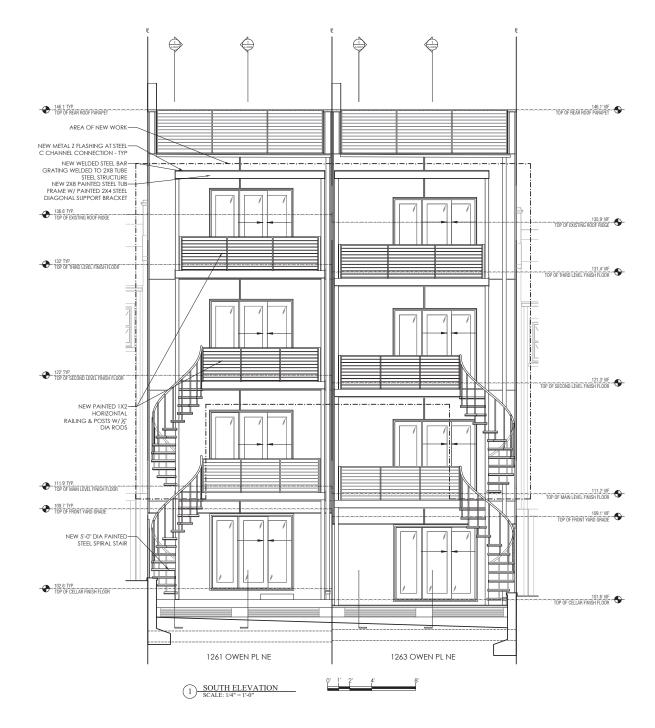
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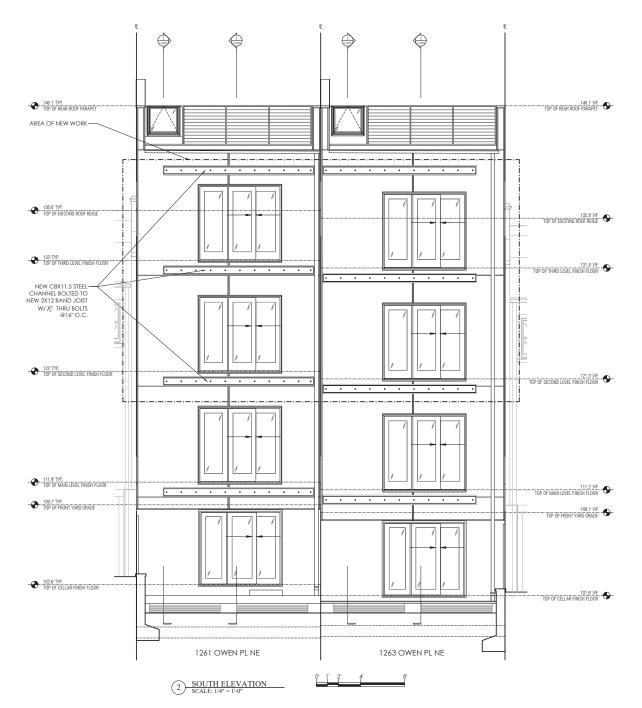
 any individual of the second of the provided of the provided of the second of the secon for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.

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SUBMISSION	DATE	
BZA	05.06.19	
		ARCHITECTURAL
WERE PREPAREI ME AND THAT I A ARCHITECT UND	THESE DOCUMENTS D OR APPROVED BY MA DULY LICENSED IER THE LAWS OF THE	PLANS
LICENSE NO	D. ARC 101947 DATE 04-30-2020	
DRAWN BY:	LWF/VC/MF	A-0003
CHECKED BY:	MF	A-0003
PROJECT NO:	2015-10 & 2017-10	

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 Repair all damage or voids caused during construction to any of the property to the diginal condition. Protect adjacent areas from dirt and dust.
 All conceled wood blocking in walls and celling shall be Flame Retardant Treated.
 All concelled wood blocking in walls and celling shall be Flame Retardant Treated.
 All coloritons of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the contractor's failure to exactly locate and preserve any and all durities.
 The iter "Owner" shall refer to OWHP IACE DEVELOPMENT, LLC and its agents or representatives. The term "Owner" shall refer to OWHP IACE DEVELOPMENT, LLC and its agents or representatives.
 The term "Owner" shall refer to OWHP IACE DEVELOPMENT, LLC and its agents or expresentatives.
 The term "Owner" shall refer to OWHP IACE DEVELOPMENT, LLC and its agents or expresentatives.
 The contractor shall provide the scheduled pre finished milliwork as described and detailed and responsible to receive, check and confirm the milliworks and science and the apsilable. Cope all returns, mitter all comers and use scarf joints for end to end jointing, Refinish at all cuts and damaged areas ar required.
 General Contractor hall check-in with the Owner prior to commencing construction.
 General Contractor to provided site herein, ALA document A201 General Notes listed herein, ALA document A201 General Notes listed herein, ALA docus expressing and and using apply.
 General Contrac





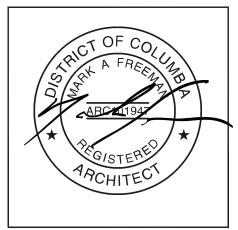
1261/1263 Owen Pla



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1261 & 1263 OWEN PL NE - COMBINED DRAWINGS NOTE THE DRAWINGS & NOTES ON THIS PAGE ARE TYPICAL FOR BOTH 1261 & 1243 OWEN PLACE NE PROPERTIES. VERITY IN FIELD ALL DIMENSIONS. IF ANY DIMENSIONS OR POTES ARE IN QUESTION, REVIEW WITH ARCHTECT PRIOR TO PROCEEDING WITH WORK.

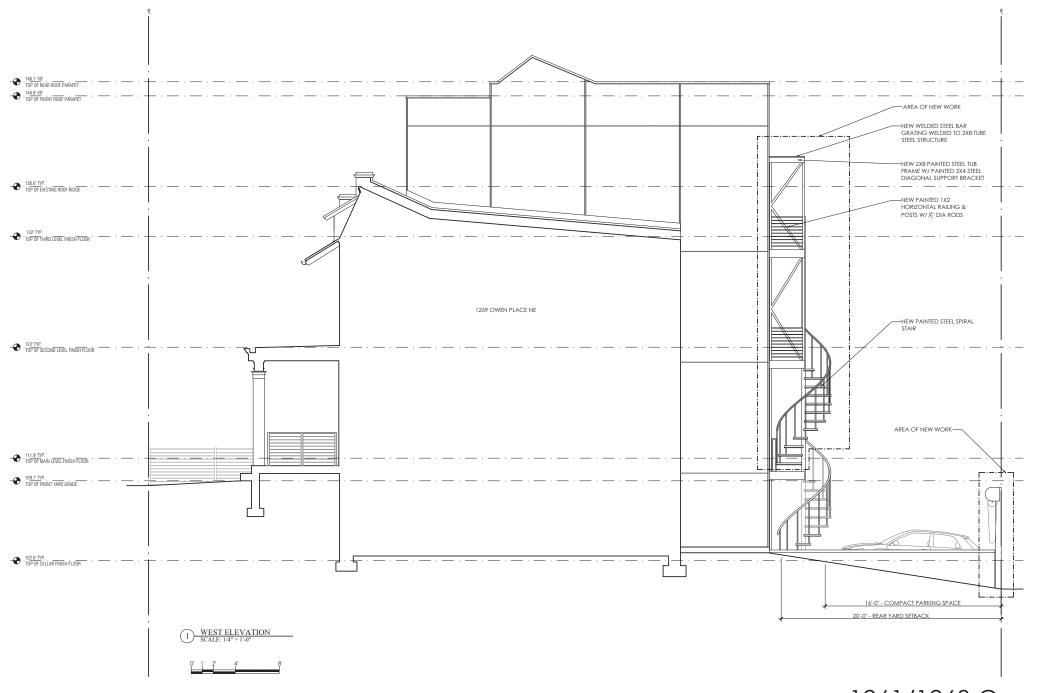
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LICENSE NO. ARC 101947 EXPIRATION DATE 04-30-2020	
DRAWN BY: LWF/VC/MF	A-0004
CHECKED BY: MF	A-0004
PROJECT NO: 2015-10 & 2017-10	

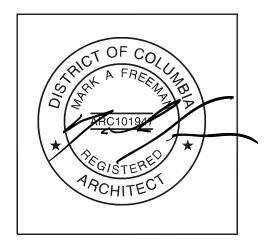


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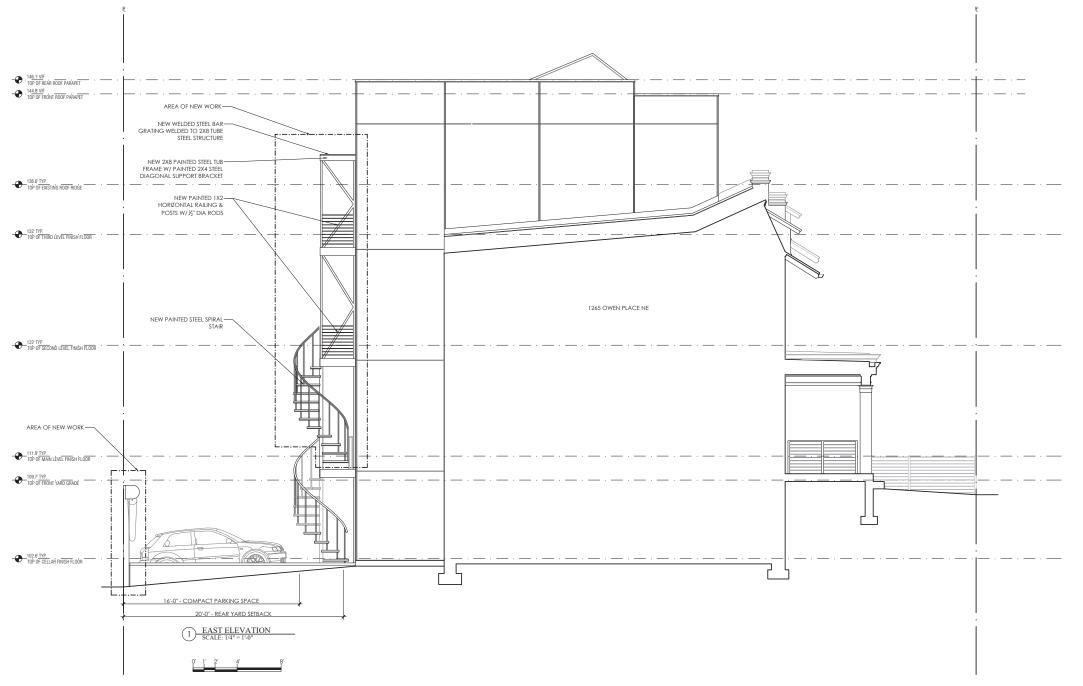


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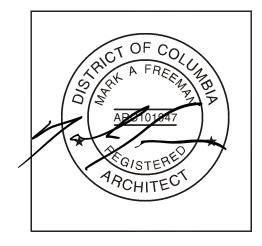
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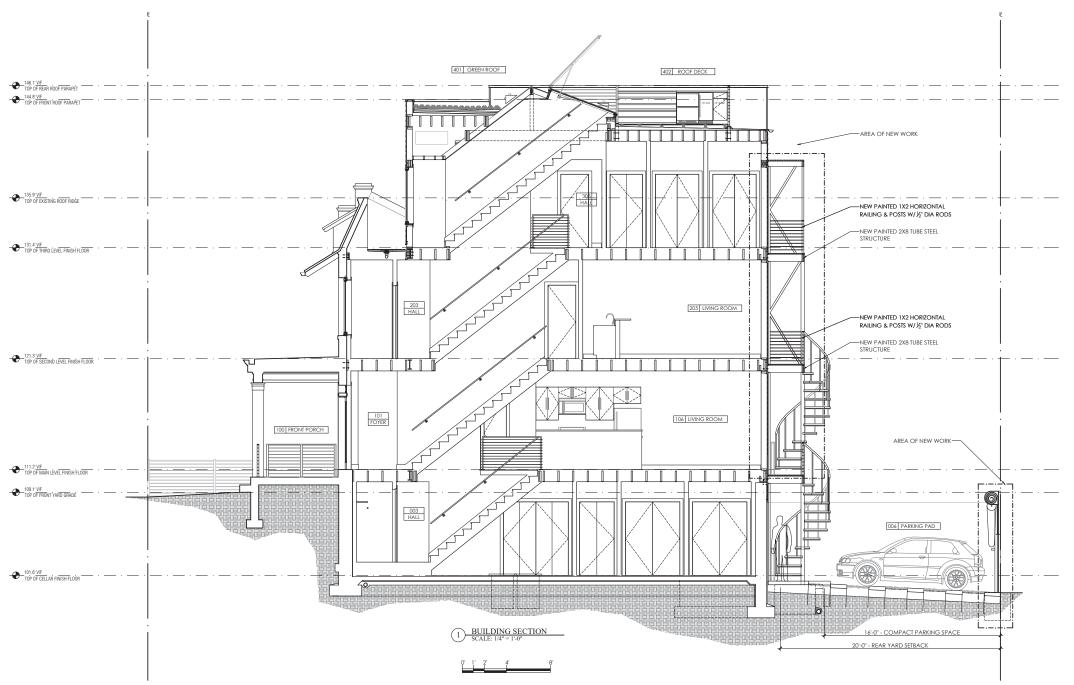
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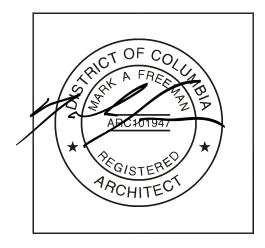
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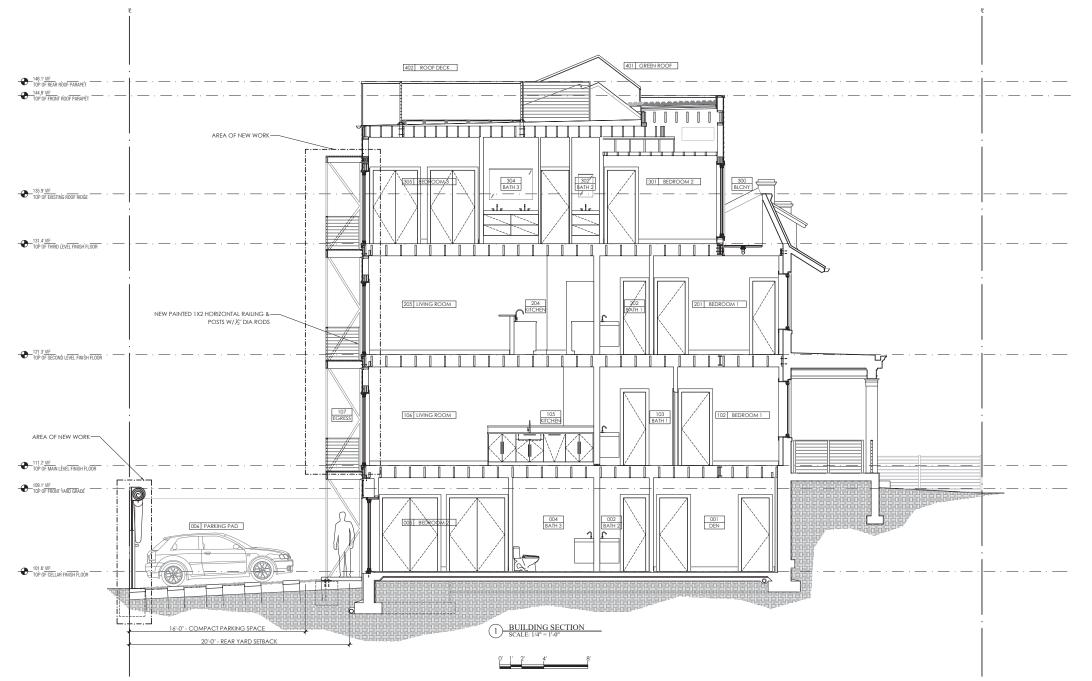
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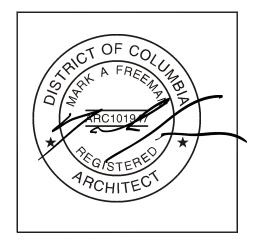






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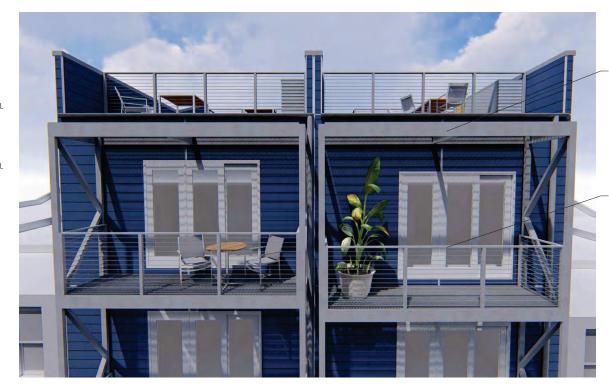
1 REAR PERSPECTIVE VIEW SCALE: NONE



2 REAR ELEVATION SCALE: NONE



3 <u>REAR BALCONIES PERSP</u>ECTIVE VIEW SCALE: NONE



4 REAR BALCONIES ELEVATION SCALE: NONE

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NEW WELDED STEEL BAR GRATING WELDED TO 2X8 TUBE STEEL STRUCTURE W/ PAINTED 2X4 STEEL DIAGONAL SUPPORT BRACKET

NEW PAINTED 1X2 HORIZONTAL Railing & Posts W/ $\frac{1}{2}$ " dia Rods

1	SUBMISSION DATE	Γ
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ARCHITECTURAL Renderings A-0009